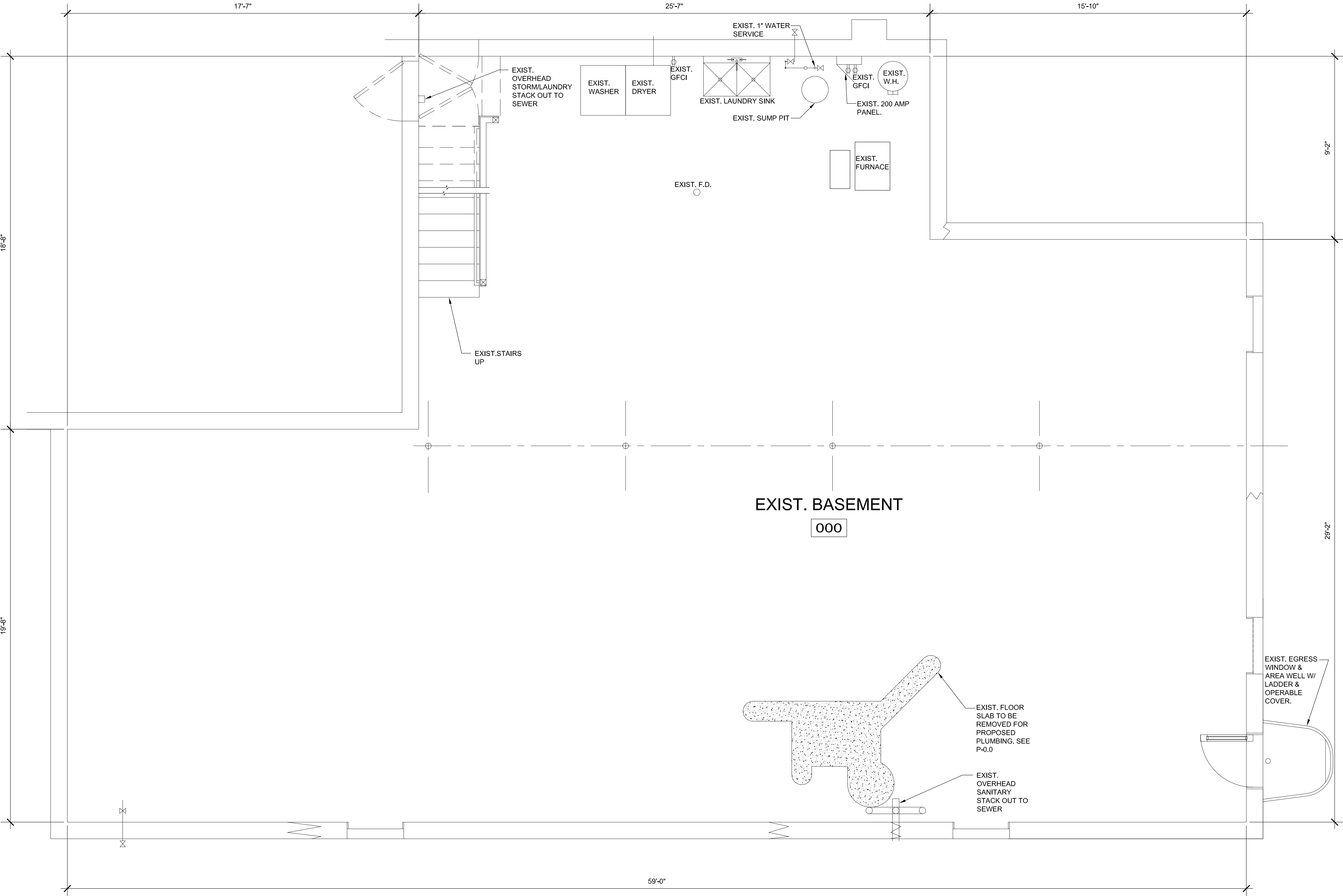


KELLOGG BASEMENT BUILD-OUT



REVISIONS:

#	DATE	REVISION DESCRIPTION
	03/13/18	ISSUE FOR PERMIT

PROJECT:
KELLOGG BASEMENT
BUILD-OUT
1817 S. LINDEN AVE.
PARK RIDGE, IL 60068

CLIENT:
KELLOGG
1817 S. LINDEN AVE.
PARK RIDGE, IL 60068

HABITABLE AREAS PER PARK RIDGE MUNICIPAL CODE 22-2-1	
EXISTING HABITABLE AREA	
1ST FLOOR: 1,320 S.F.	
BASEMENT: 0 S.F.	
PROPOSED INCREASE IN HABITABLE AREA	
BASEMENT: 837 S.F.	
PROPOSED TOTAL HABITABLE AREA	
2,157 S.F.	

APPLICABLE CODES	
2015 INTERNATIONAL RESIDENTIAL CODE	
2015 INTERNATIONAL ENERGY CONSERVATION CODE	
2015 INTERNATIONAL MECHANICAL CODE	
2015 INTERNATIONAL FUEL GAS CODE	
2015 INTERNATIONAL FIRE CODE	
2014 NATIONAL ELECTRICAL CODE	
IL STATE PLUMBING CODE	
CITY OF PARK RIDGE MUNICIPAL AND ZONING CODES	

DRAWING SHEET INDEX	
COVER	APPLICABLE CODES
	EXISTING/DEMOLITION BASEMENT PLAN
A-0.0	BASEMENT FLOOR/POWER PLAN, DOOR & FRAME SCHEDULE
A-0.1	BASEMENT REFLECTED CEILING PLAN & LIGHT FIXTURE SCHEDULE
A-0.2	BASEMENT FINISH PLAN, ROOM FINISH SCHEDULE, WALL TYPES, FLOORING DETAILS
A-0.3	ENLARGED PLANS, INTERIOR ELEVATIONS, CABINET SECTIONS
A-0.4	ENLARGED PLAN, INTERIOR ELEVATIONS, CABINET SECTIONS, ACCESSORY SCHEDULE
P-0.0	BASEMENT WATER & WASTE/VENT PLANS, PLUMBING FIXTURE SCHEDULE

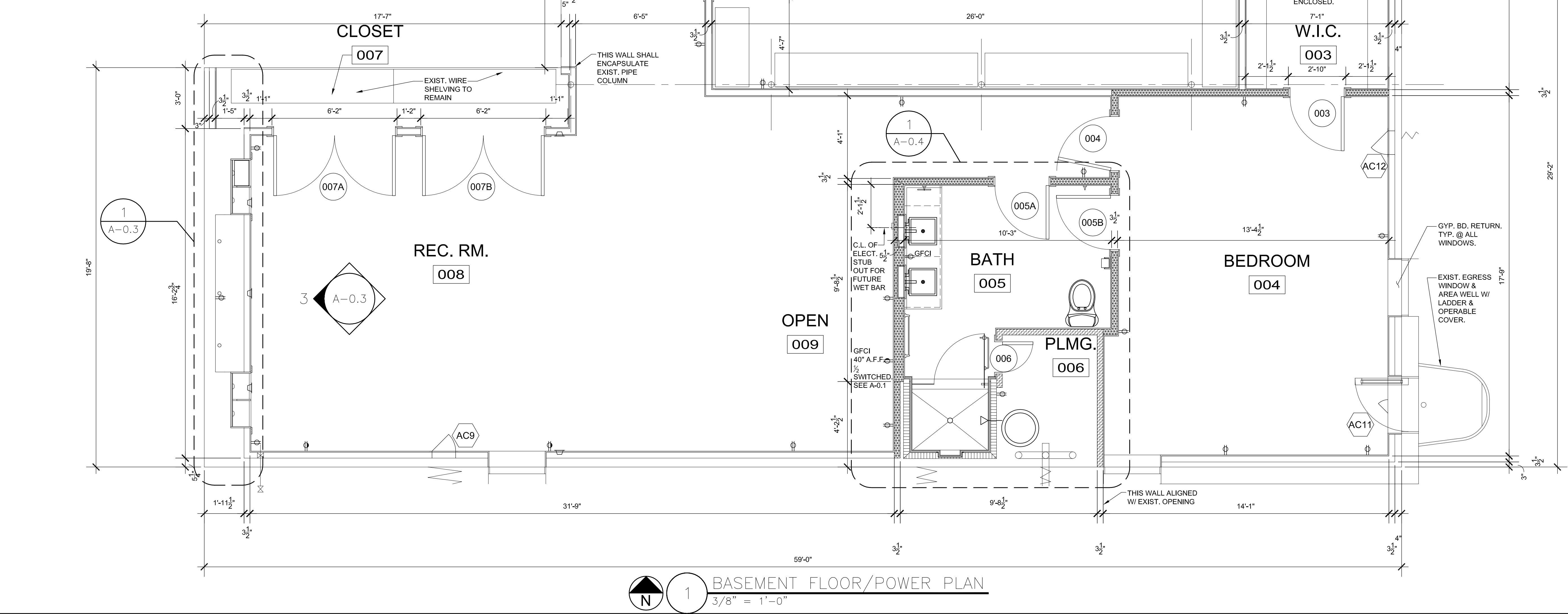
CONTENT:
COVER SHEET
APPLICABLE CODES
EXISTING/DEMO
BASEMENT FLOOR PLAN

DRAWN BY:	MJK
CHECKED BY:	MJK
JOB #:	17-001
DATE:	10/03/18
SHEET #:	

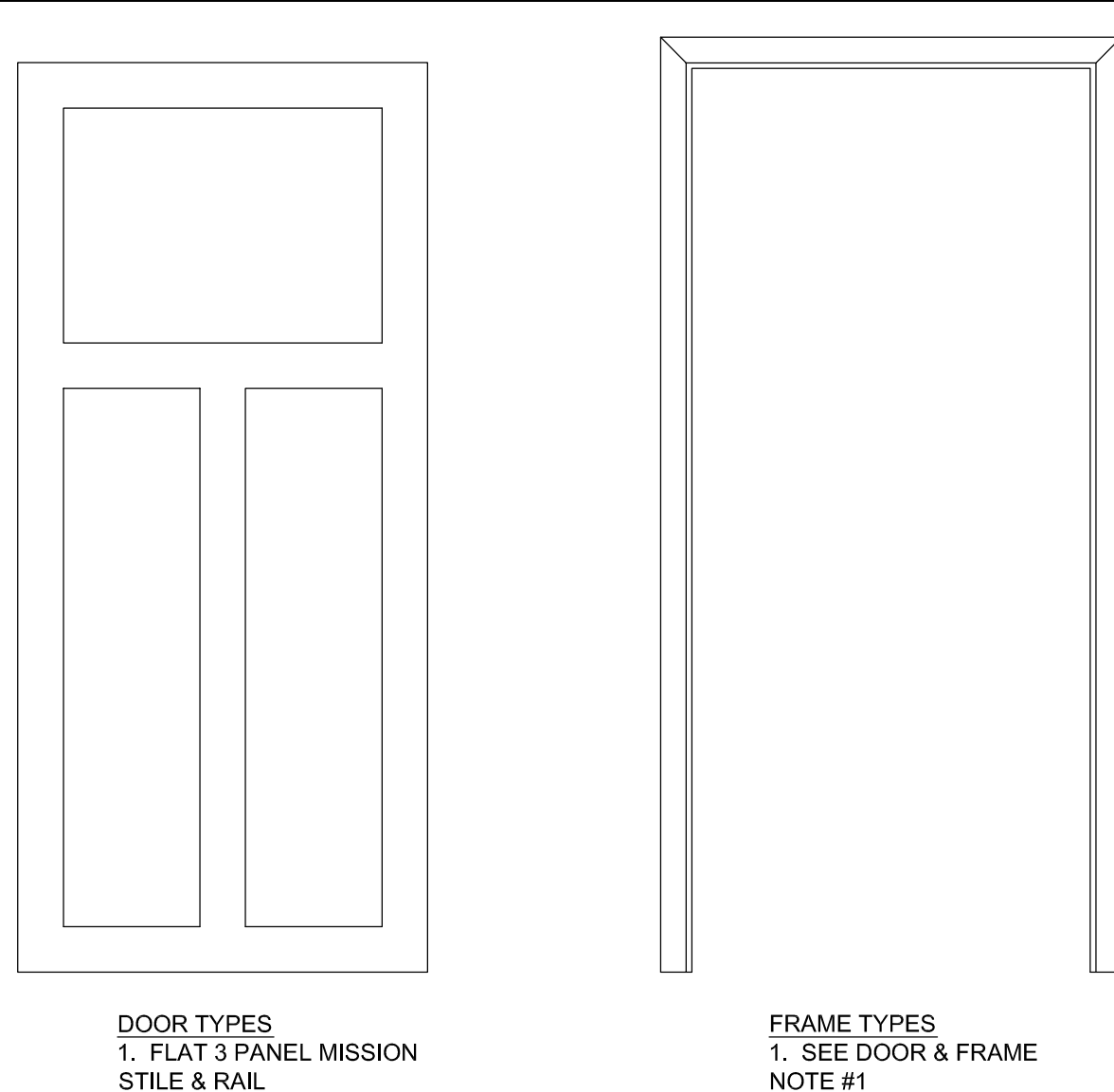
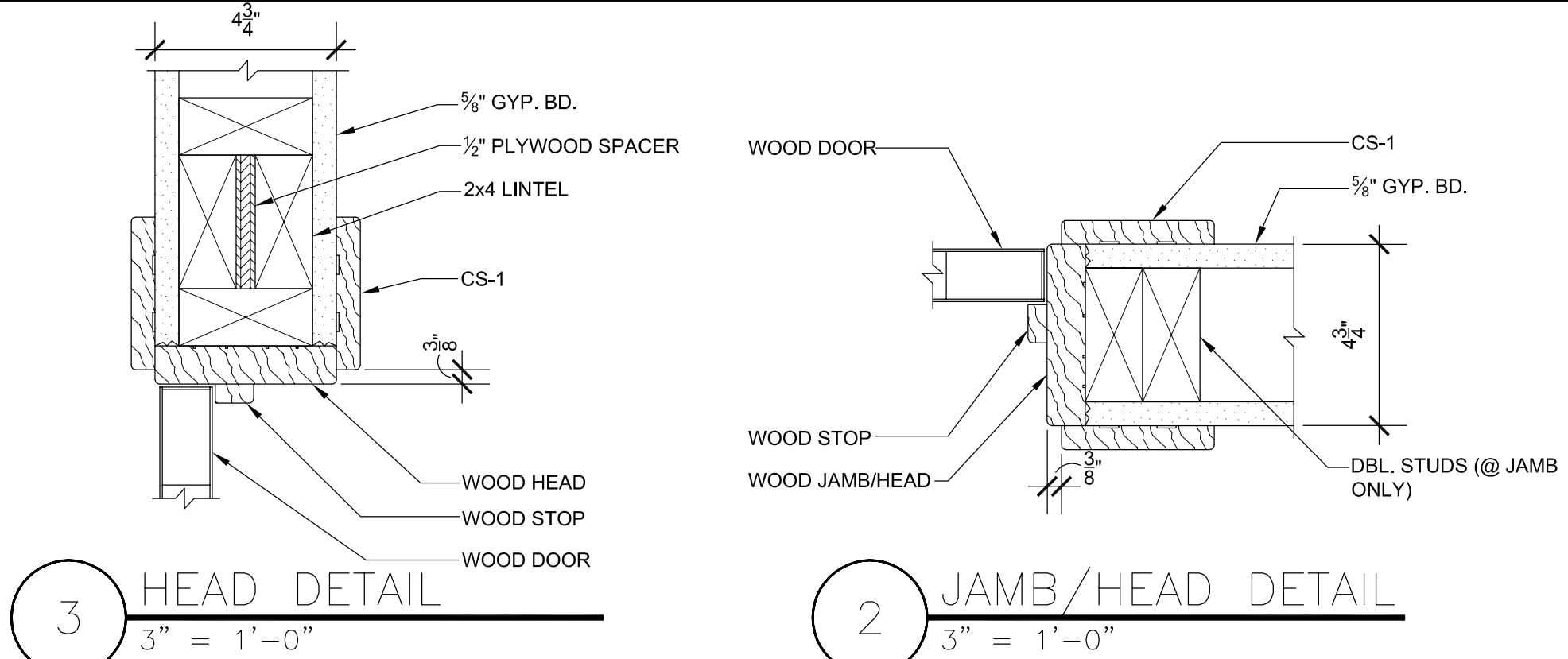
COVER

DOOR & FRAME SCHEDULE																	
LOCATION	MARK	DOOR				FRAME				HARDWARE				REMARKS			
		SIZE		MATERIAL	TYPE	MATERIAL	TYPE	DETAILS			STOP	CATCH	PASSAGE		DUMMY	PRIVACY	# PAIR HINGES
		WIDTH	HEIGHT					SILL	JAMB	HEAD							
BASEMENT	001	3'-0"	6'-8"	1 3/8"	WOOD	1	WOOD	1	10/A-0.2	2/A-0.0	3/A-0.0	A	C			1.5	HEADER SHALL BE LOAD BEARING LINTEL.
	002	3'-0"	6'-8"	1 3/8"	WOOD	1	WOOD	1	10/A-0.2	2/A-0.0	2/A-0.0	A	C			1.5	
	003	2'-8"	6'-8"	1 3/8"	WOOD	1	WOOD	1	-	2/A-0.0	2/A-0.0	A	C			1.5	
	004	2'-8"	6'-8"	1 3/8"	WOOD	1	WOOD	1	9/A-0.2	2/A-0.0	2/A-0.0	A			E	1.5	
	005A	2'-8"	6'-8"	1 3/8"	WOOD	1	WOOD	1	-	2/A-0.0	2/A-0.0	A			E	1.5	
	005B	2'-8"	6'-8"	1 3/8"	WOOD	1	WOOD	1	9/A-0.2	2/A-0.0	2/A-0.0	A			E	1.5	
	006	1'-6"	6'-8"	1 3/8"	WOOD	1	WOOD	1	10/A-0.2	2/A-0.0	2/A-0.0	A	C			1.5	
	007A	(PR.) 3'-0"	6'-8"	1 3/8"	WOOD	1	WOOD	1	-	2/A-0.0	2/A-0.0	A	B		D	3	
	007B	(PR.) 3'-0"	6'-8"	1 3/8"	WOOD	1	WOOD	1	-	2/A-0.0	2/A-0.0	A	B		D	3	

NOTES			
1. ALL DIM'S TAKEN FROM FACE OF FOUNDATION OR FACE OF STUDS UNLESS NOTED OTHERWISE (U.N.O.)			
2. ALL LUMBER INSTALLED IN CONTACT W/ CONCRETE SHALL BE PRESSURE TREATED (P.T.).			
3. SEE A-0.4 FOR ADDITIONAL ACCESSORY SCHEDULE.			
4. ALL ELECTRICAL RECEPTACLES SHALL BE ARC-FAULT PROTECTED.			
5. ALL ELECTRICAL RECEPTACLES IN UNFINISHED AREAS SHALL BE GROUND FAULT CIRCUIT INTERRUPTED.			
6. ALL BATHROOM ELECTRICAL RECEPTACLES SHALL BE GFCI, TAMPER RESISTANT & HAVE A DEDICATED 20 AMP CIRCUIT.			
7. RECEPTACLES SHALL BE 1/2 SWITCHED WHERE INDICATED. SEE A-0.1 FOR SWITCH LOCATIONS.			
ACCESSORY SCHEDULE			
MARK	ACCESSORY	MANUFACTURER	MODEL
AC13	IRONING CENTER	IRON-A-WAY	AE-46
NOTES FRAME WALL AS REQ'D FOR RECESSED MOUNTING & PROVIDE WIRING FOR ACCESSORY TO BE F.O.I.O.			



DOOR & FRAME NOTES
1. ALL FRAMES INCL. CASINGS (CS-1), STOPS, HEADS, JAMBS, ETC., TO BE PINE RANCH STYLE, PRIMED & PAINTED (PT-2).
2. ALL DOOR HARDWARE TO BE SATIN NICKEL PLATED, CLEAR COATED (US15/BHMA 619).
3. ALL DOORS TO BE WOOD SOLID CORE, PRIMED & PAINTED (PT-2).
HARDWARE LEVER SETS
C-PASSAGE
SCHLAGE F10 BRW 619
D-DUMMY
SCHLAGE F170 BRW 619
E-PRIVACY
SCHLAGE F40 BRW 619



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CLIENT:
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PARK RIDGE, IL 60068

CONTENT:
BASEMENT FLOOR/
POWER PLAN,
DOOR SCHEDULE

DRAWN BY: MJK
CHECKED BY: MJK
JOB #: 17-001
DATE: 10/03/18
SHEET #:

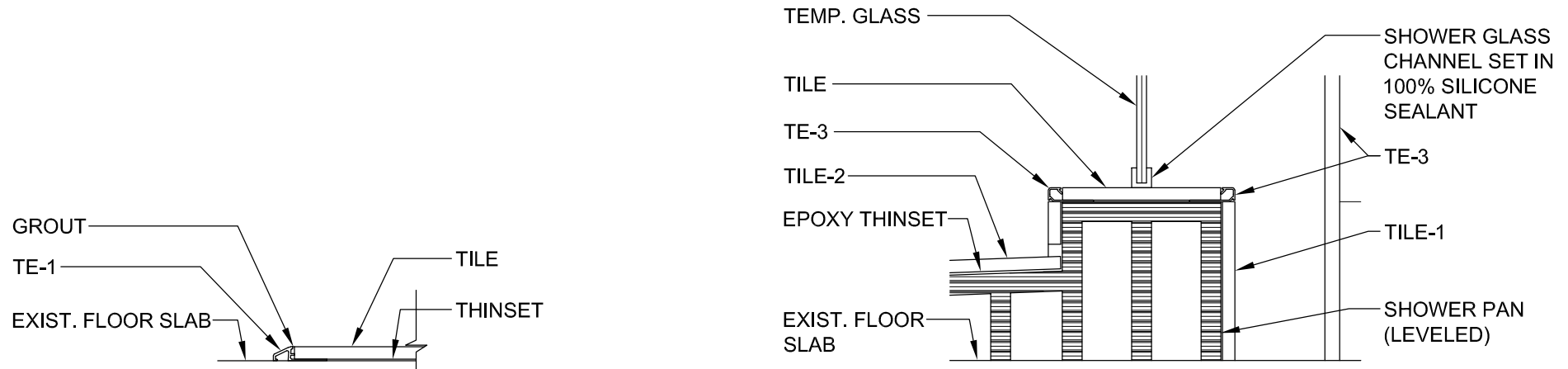
A-0.0

LIGHT FIXTURE SCHEDULE				
SYMBOL	FIXTURE	MANUFACTURER	MODEL	NOTES
	6" RECESSED CAN LIGHT HOUSING 6" RECESSED CAN LIGHT TRIM	HALO HALO	H71CT 310W	ALL RECESSED FIXTURES SHALL BE IC RATED & MUST MEET SECTION R402.4.5 OF THE I.E.C. CODE. THOSE INSTALLED IN BATH SHALL BE RATED FOR WET OR DAMP LOCATIONS.
	CLOSET LIGHT	LITHONIA	FMMCL	X
	BATH VANITY LIGHT	MOEN	YB8861BN	FIXTURE SHALL BE RATED FOR DAMP LOCATIONS
	EXHAUST FAN/LIGHT	BROAN	XB110HL	FIXTURE SHALL BE RATED FOR DAMP LOCATIONS 110 C.F.M.
	SMOKE/CO DETECTOR	NEST	S3003LWES	FIXTURE SHALL BE HARDWIRED & INTERCONNECTED.
	PENDANT LIGHT	ACCESS	52070-BS	PROVIDE WIRING ONLY FOR FIXTURE TO BE INSTALLED LATER
	IN-CABINET PUCK LIGHT	WAC LIGHTING	HR-LED90-27-BK	PROVIDE WIRING ONLY FOR FIXTURE TO BE INSTALLED LATER (80" A.F.F.)
	IN-CEILING SPEAKER	X	X	X X

A-0.1

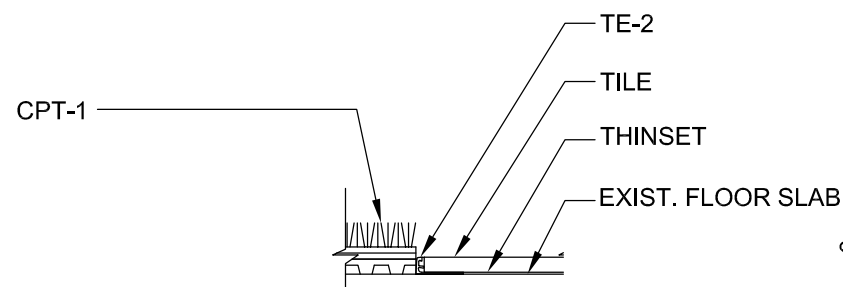
ROOM FINISH SCHEDULE								
MARK	FLOOR	BASE	WALLS				CEILING	REMARKS
LAUNDRY/UTIL.	UNFINISHED	UNFIN.	NORTH	EAST	SOUTH	WEST	MATERIAL	
			UNFIN.	UNFIN.	PT-3	PT-3	UNFIN.	
001								
STORAGE	UNFINISHED	UNFIN.	PT-3	PT-3	PT-3	PT-3	UNFIN.	
002								
W.I.C.	CPT-1	BASE-1 7/A-0.2	PT-3	PT-3	PT-3	PT-3	PT-1	
003								
BEDRM.	CPT-1	BASE-1 7/A-0.2	PT-3	PT-3	PT-3	PT-3	PT-1	
004								
BATH	TILE-1/ *TILE-2 GROUT-1	BASE-2 8/A-0.2	PT-4	PT-4/ *TILE-1 *GROUT-1	PT-4/ *TILE-1 *GROUT-1	PT-4/ *TILE-1 *GROUT-1	PT-2	*SHOWER ENCLOSURE CEILING - 5/8" WATER RESIST. GYP. BD. WALL BD. 1/2" CEMENT BACKER BD. SEE FINISH LEGEND FOR GLASS SPECS.
005								
PLUMB.	UNFINISHED	UNFIN.	UNFIN.	UNFIN.	UNFIN.	UNFIN.	UNFIN.	
006								
CLOSET	CPT-1	BASE-1 7/A-0.2	PT-3	PT-3	PT-3	PT-3	UNFIN.	
007								
REC. RM.	CPT-1	BASE-1 7/A-0.2	PT-3	-	PT-3	PT-3	PT-1	
008								
OPEN	TILE-1/ GROUT-1	BASE-1 8/A-0.2	PT-3	PT-3	PT-3	-	PT-1	
009								

NOTES
1. ALL WALL BOARD SHALL BE ½" GYPSUM BOARD (GYP. BD.) & SHALL BE FINISHED TO LEVEL 5 PER DOCUMENT GA-214-10 U.N.O.
2. SOUND INSULATION SHALL BE 3½" OWENS-CORNING QUIET ZONE ACOUSTIC BATTS.

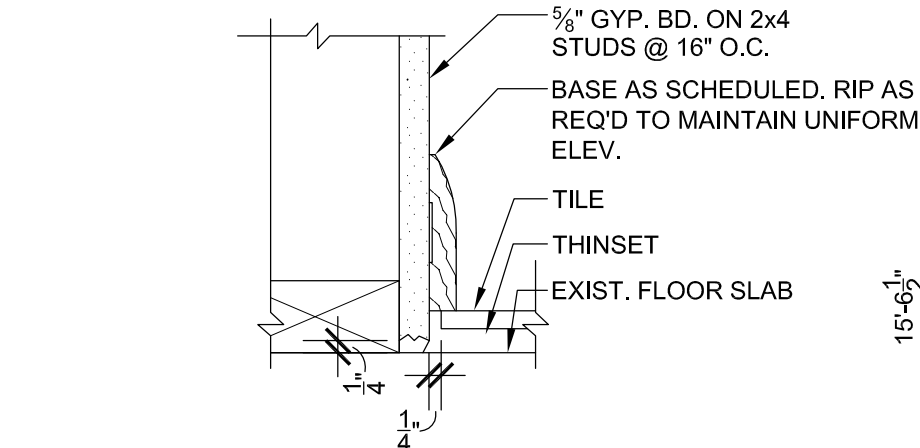


10 FLOOR TRANSITION
3" = 1'-0"

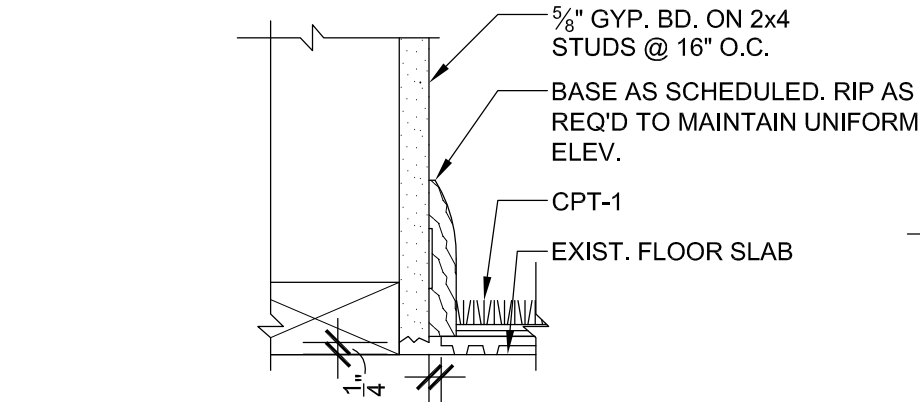
11 SHOWER CURB
3" = 1'-0"



9 FLOOR TRANSITION
3" = 1'-0"

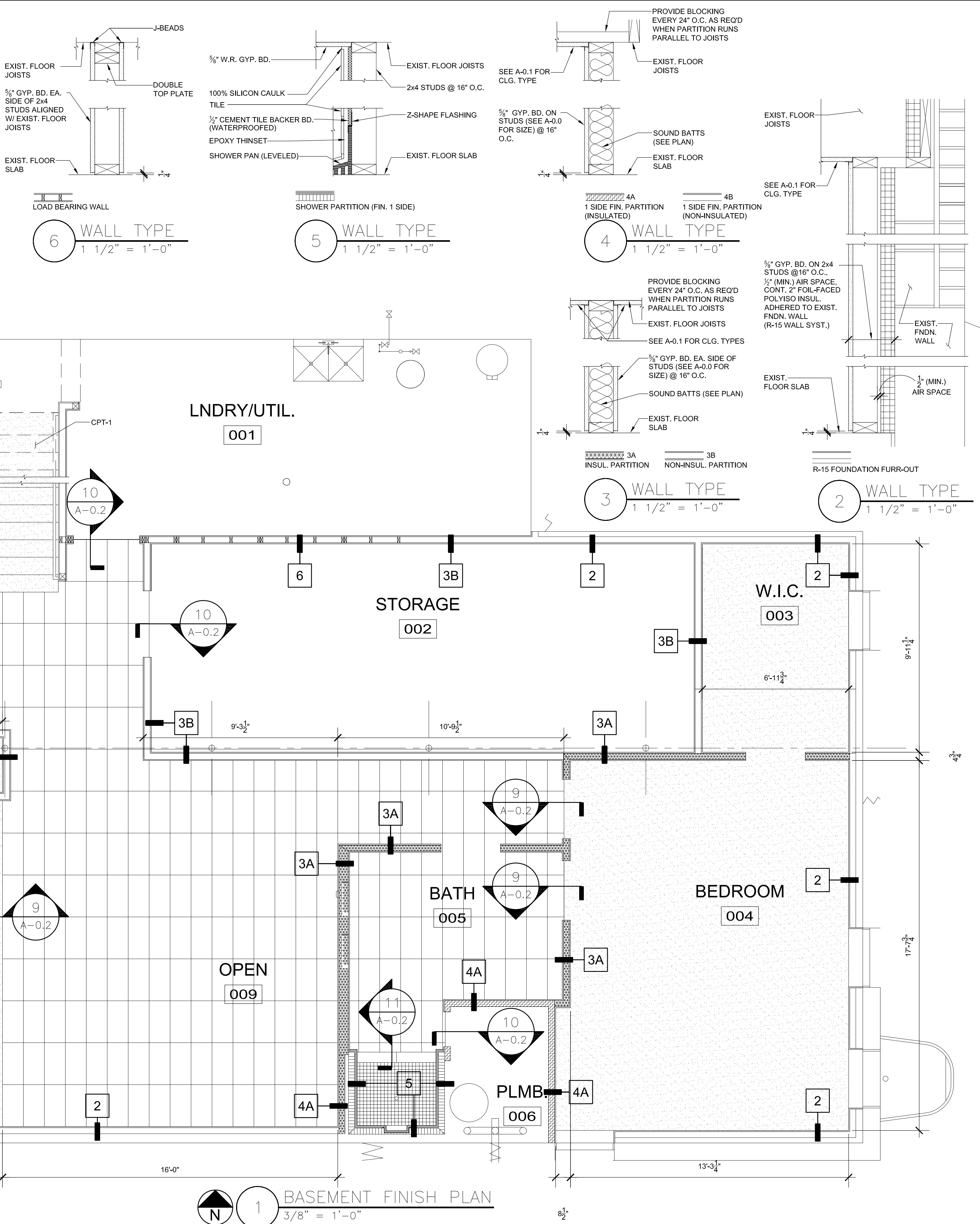


8 BASE DETAIL
3" = 1'-0"



7 BASE DETAIL
3" = 1'-0"

FINISH LEGEND	
CPT-1	MANF. MODEL COLOR-OVER MANF. CUSHION OVER DRYBARRIER SUBFLOOR
TILE-1	GRANITE FIANDRE APPROACH-TAUPE 12"x24" (606 S.F.)
TILE-2	GRANITE FIANDRE APPROACH-TAUPE MOSAIC (18) 1'x1' SHEETS
TE-1	SCHLUTER-AU80AT RENO-ANOD. ALUM. TILE EDGE
TE-2	SCHLUTER-A80AT JOLLY ANOD. ALUM. TILE EDGE
TE-3	SCHLUTER-Q80AT QUADREC ANOD. ALUM. TILE EDGE
GROUT-1	MAPEI ULTRACOLOR PLUS FA COLOR-02 PEWTER
BASE-1	¾"x3 ½" PINE RANCH STYLE BASE BD. PRIMED & PAINTED (PT-2) (230 L.F.)
BASE-2	GRANITE FIANDRE APPROACH-TAUPE 24"x4" BULLNOSE
CS-1	PINE RANCH STYLE CASING PRIMED & PAINTED (PT-2) (305 L.F.)
PT-1	FLAT WHITE
PT-2	SATIN WHITE
PT-3	FLAT PERFECT GREIGE
PT-4	MATTE PERFECT GREIGE
	SHOWER GLASS CHANNEL, HINGES & DOOR HANDLE/ TOWEL BAR COMBO SHALL HAVE BRUSHED NICKEL FINISH.



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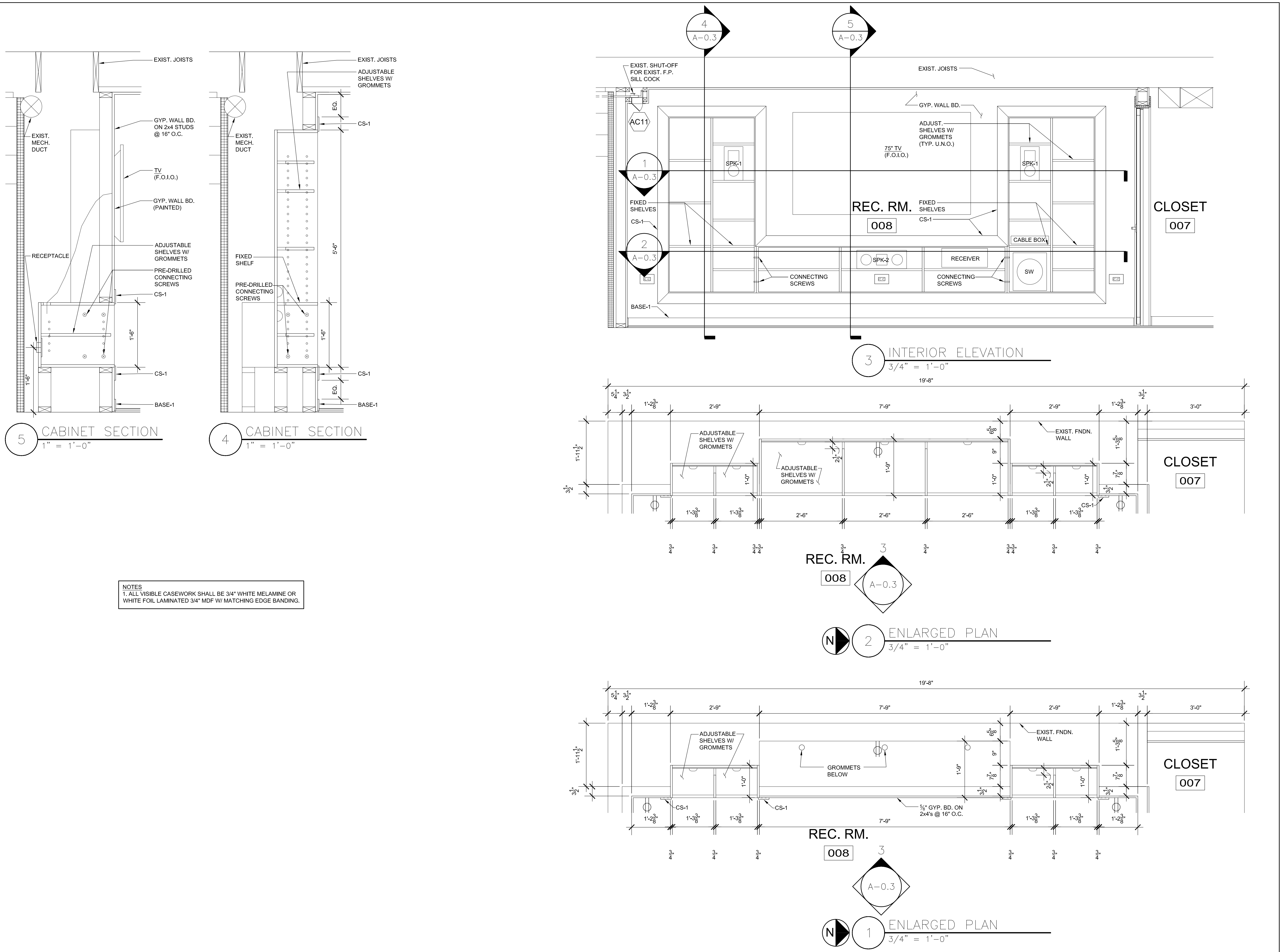
PROJECT:
KELLOGG BASEMENT
BUILD-OUT
1817 S. LINDEN AVE.
PARK RIDGE, IL 60068

CLIENT:
KELLOGG
1817 S. LINDEN AVE.
PARK RIDGE, IL 60068

CONTENT:
BASEMENT FINISH PLAN,
ROOM FINISH SCHEDULE,
WALL TYPES,
FLOORING DETAILS

DRAWN BY: MJK
CHECKED BY: MJK
JOB #: 17-001
DATE: 10/03/18
SHEET #:

A-0.2



REVISIONS:

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PARK RIDGE, IL 60068

CONTENT:
ENLARGED PLANS,
INTERIOR ELEVATIONS,
CABINET SECTIONS

DRAWN BY: MJK

CHECKED BY: MJK

JOB #: 17-001

DATE: 10/03/18

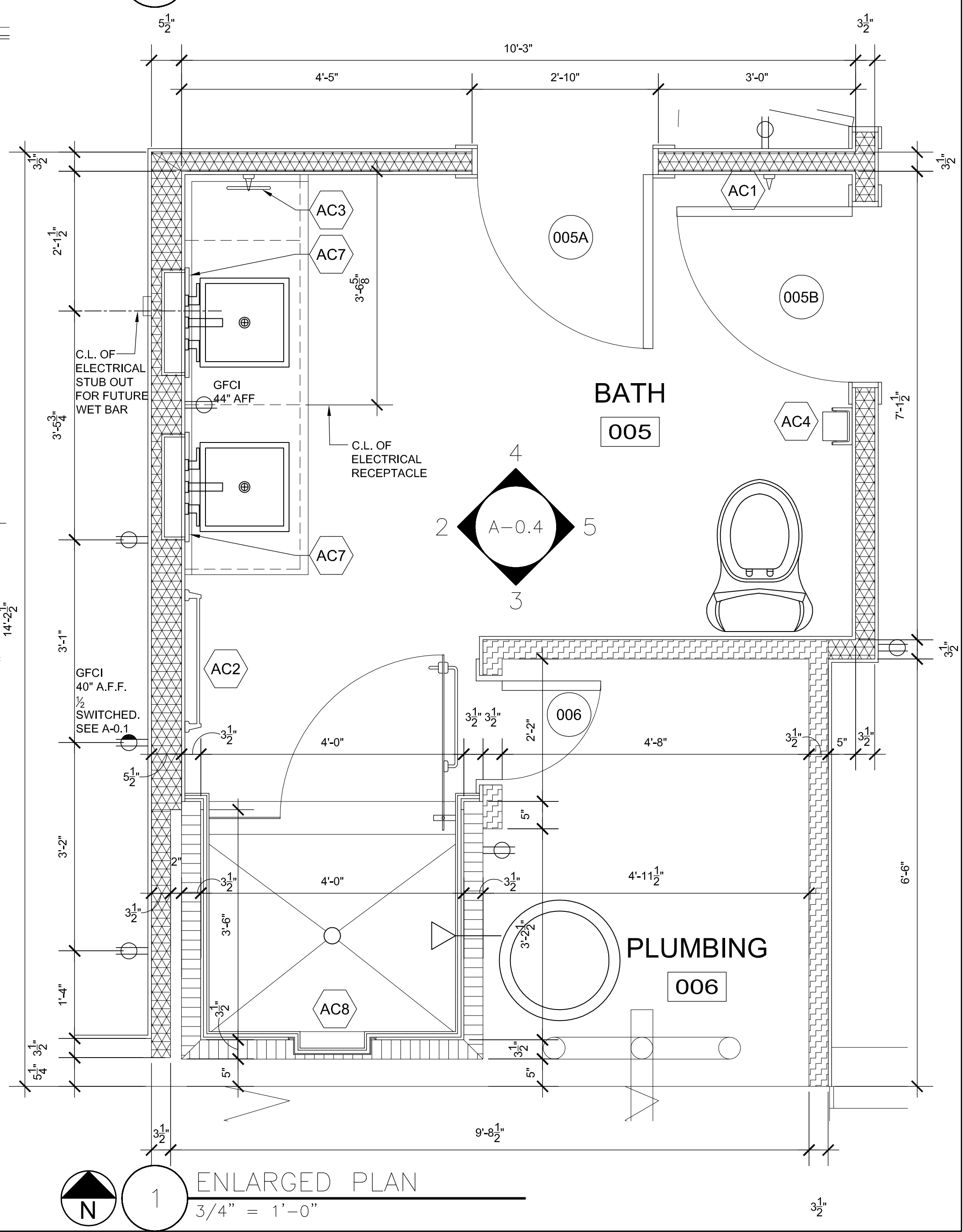
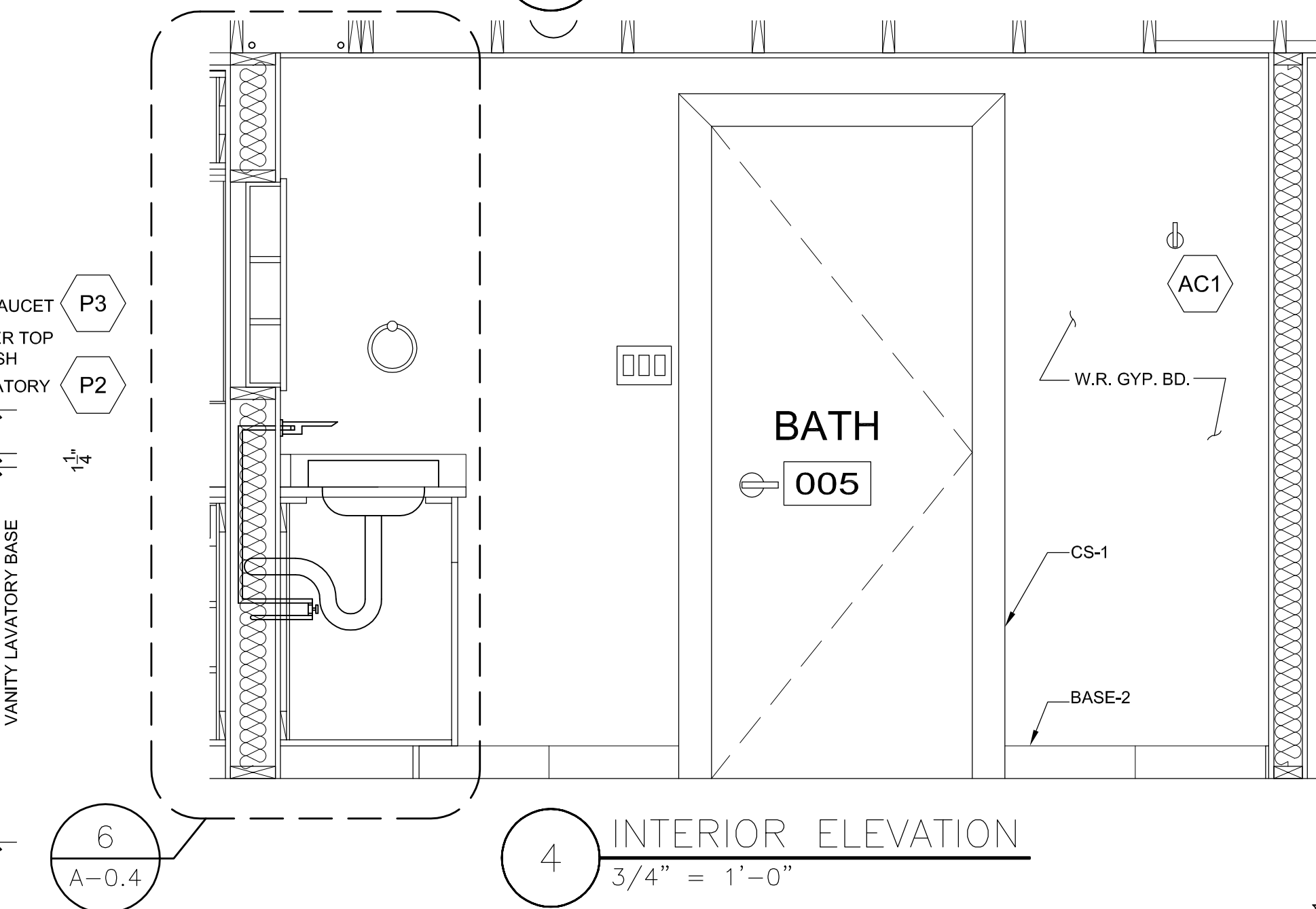
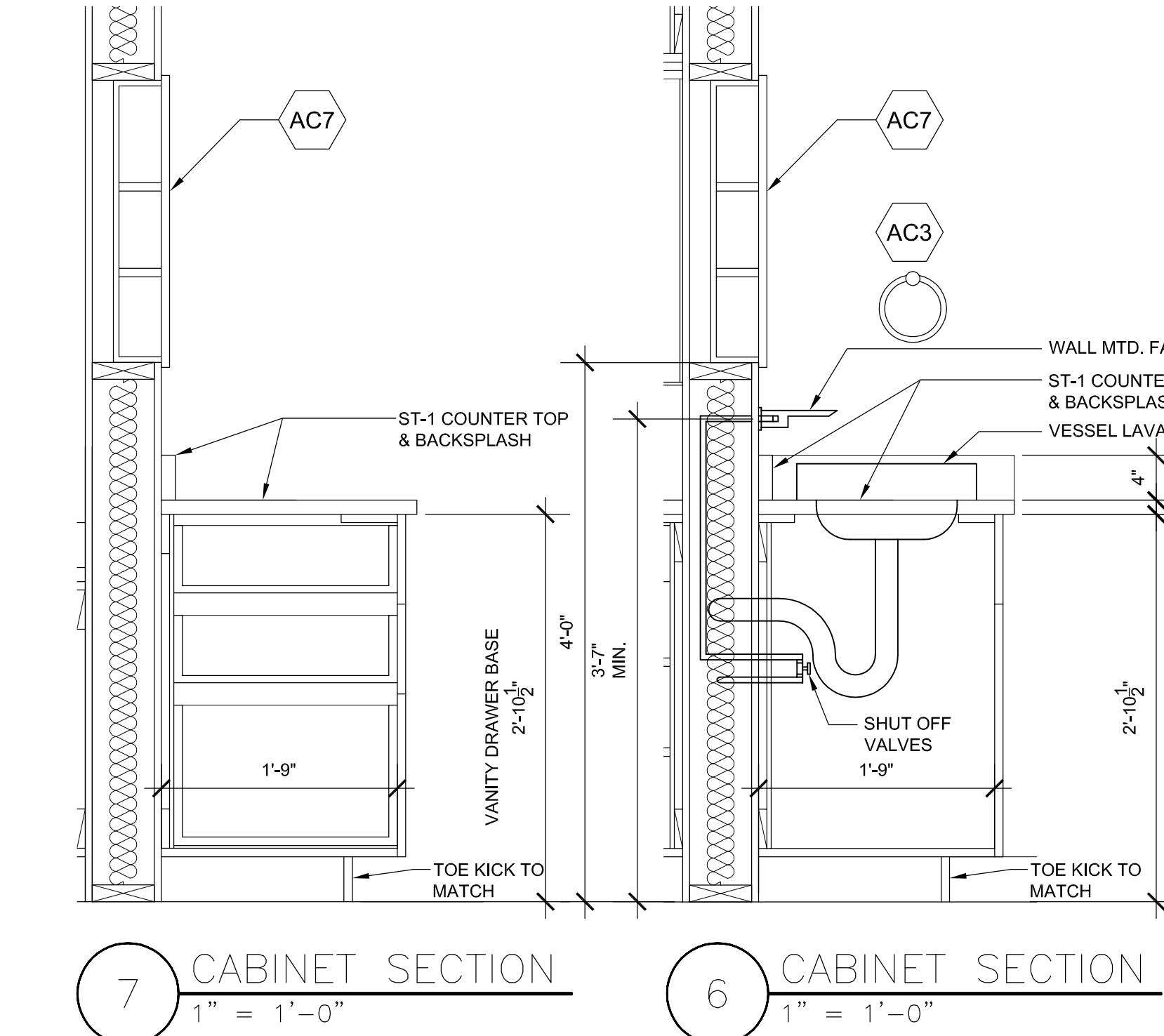
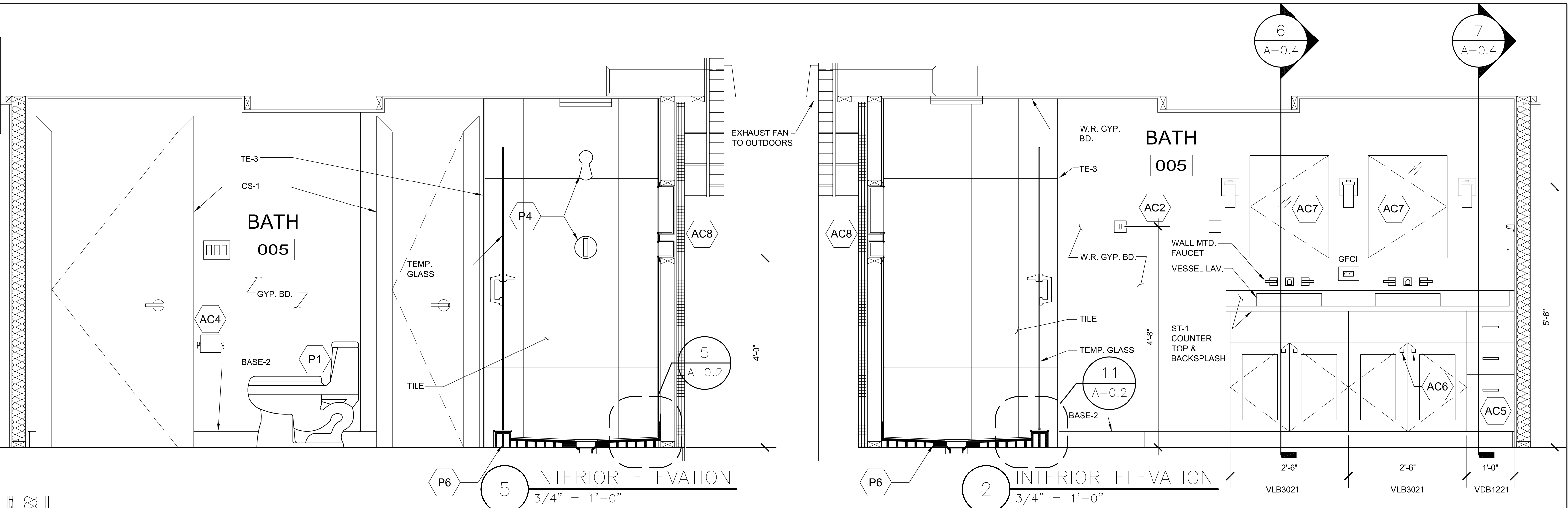
SHEET #:

A-0.3

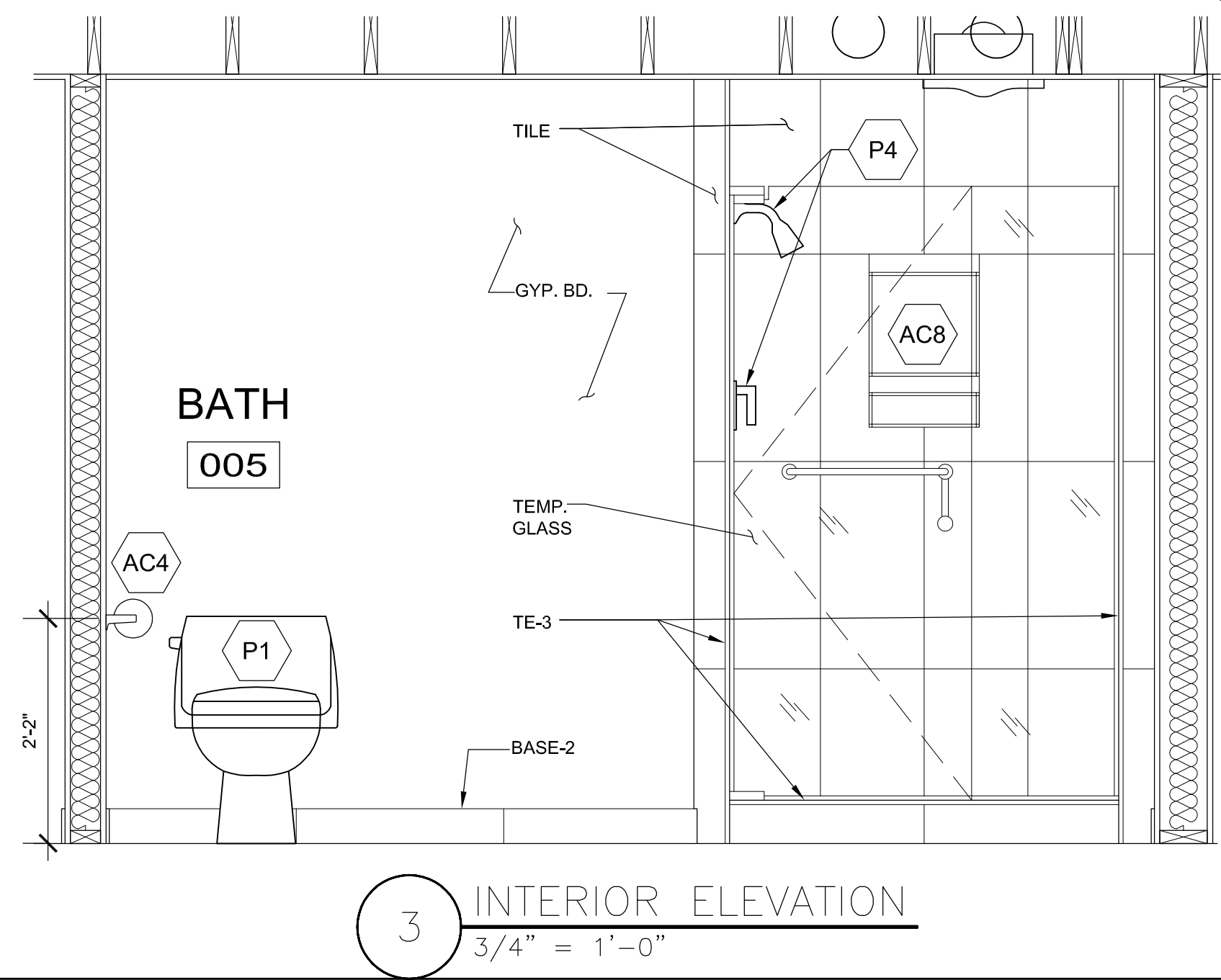
NOTES
1. ALL DIM'S TAKEN FROM FACE OF FOUNDATION, FACE OF STUDS OR C.L. OF FIXTURES U.N.O.
2. SEE A-0.1 FOR LIGHT FIXTURE SPECS & P-0.0 FOR PLUMBING FIXTURE SPECS.
3. ALL ACCESSORIES SHALL BE F.O.I.O. U.N.O.

ABBREVIATIONS
F.O.I.O. - FURNISHED BY OWNER
INSTALLED BY OWNER
F.O.I.C. - FURNISHED BY OWNER
INSTALLED BY CONTRACTOR
U.N.O. - UNLESS NOTED OTHERWISE

CABINETS (F.O.I.O.)
MEDALLION-CHATHAM MAPLE NATURAL.
ALL HINGES AND DRAWER SLIDES SHALL BE
"SOFT-CLOSE" STYLE.
ST-1
BLACK PEARL GRANITE



ACCESSORY SCHEDULE				
MARK	ACCESSORY	MANUFACTURER	MODEL	NOTES
AC1	ROBE HOOK	MOEN	YB8803BN	NOTES
AC2	TOWEL BAR 24"	MOEN	YB8824BN	NOTES
AC3	TOWEL RING	MOEN	YB8886BN	NOTES
AC4	T.P. DISPENSER	MOEN	YB8808BN	NOTES
AC5	DRAWER PULLS	MOEN	YB8807BN	NOTES
AC6	CABINET PULLS	MOEN	YB8805BN	NOTES
AC7	MEDICINE CABINET	KOHLER	K-CB-CLC2026FS	FRAME WALL AS REQ'D FOR RECESSED MOUNTING (F.O.I.C.)
AC8	SOAP NICHE	TILE-REDI	RN1620D-BI	FRAME WALL AS REQ'D FOR RECESSED MOUNTING. USE REDI-FLASH (F.O.I.C.)
AC9	ACCESS PANEL (14"x29")	OATEY	34044	FRAME WALL AS REQ'D FOR RECESSED MOUNTING (F.O.I.C.)
AC10	ACCESS PANEL (8"x8")	OATEY	34045	FRAME WALL AS REQ'D FOR RECESSED MOUNTING (F.O.I.C.)
AC11	ACCESS PANEL (6"x9")	OATEY	34055	FRAME WALL AS REQ'D FOR RECESSED MOUNTING (F.O.I.C.)
AC12	ACCESS PANEL (14"x14")	OATEY	34056	FRAME WALL AS REQ'D FOR RECESSED MOUNTING (F.O.I.C.)



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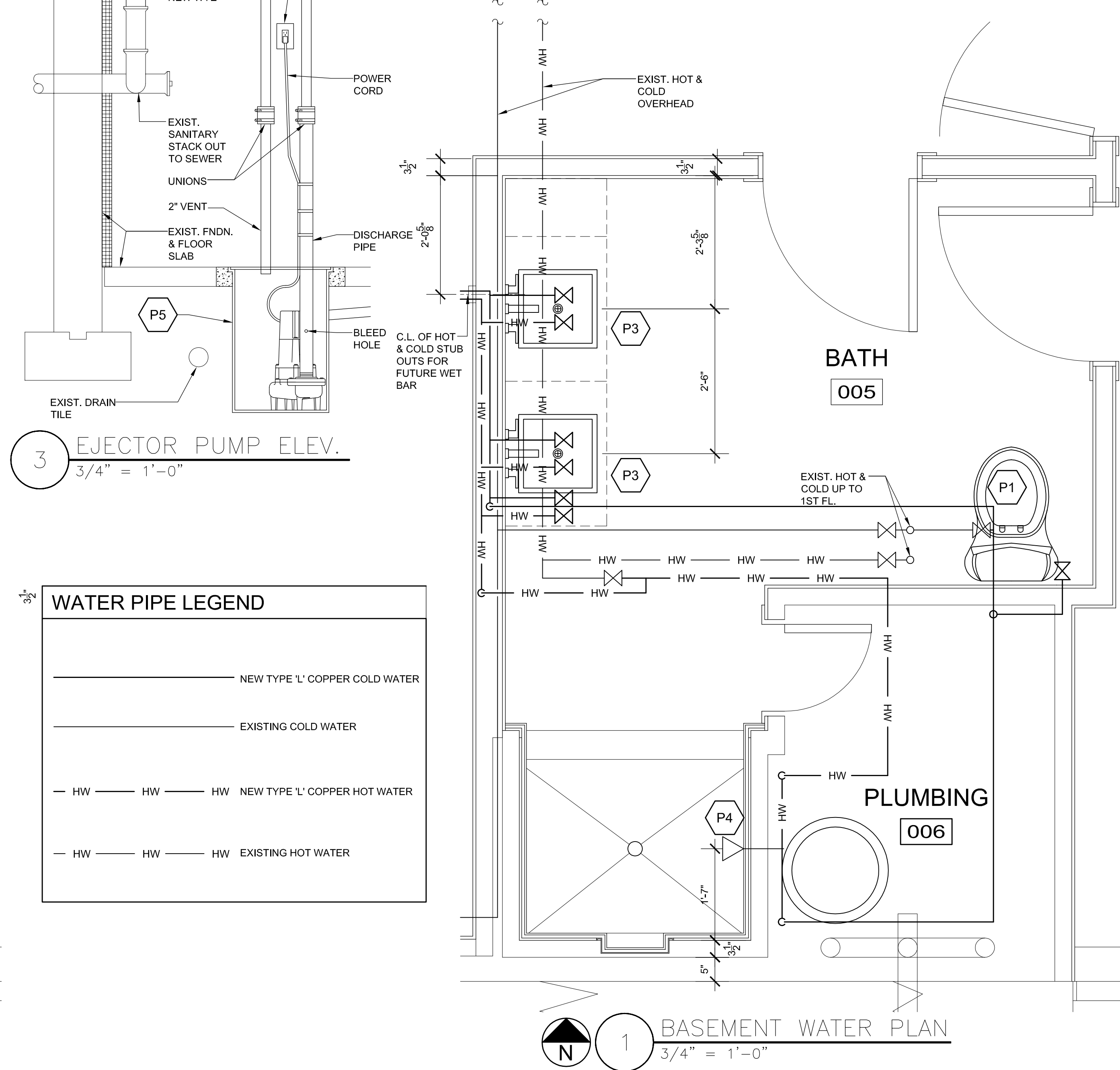
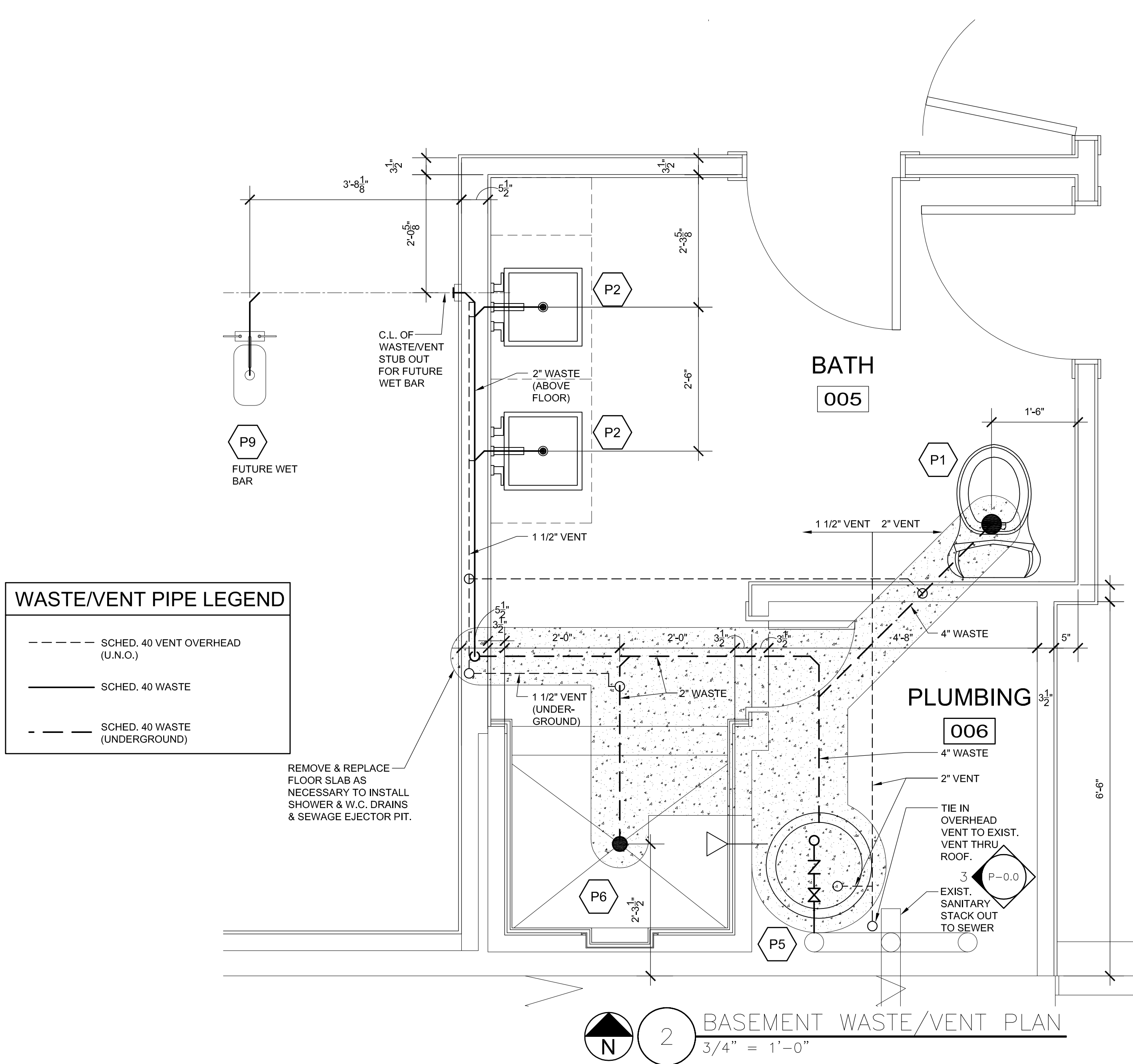
CONTENT:
ENLARGED PLAN,
INTERIOR ELEVATIONS,
CABINET SECTIONS,
ACCESSORY SCHEDULE

DRAWN BY: MJK
CHECKED BY: MJK
JOB #: 17-001
DATE: 10/03/18
SHEET #:

A-0.4

PLUMBING FIXTURE SCHEDULE					
MARK	FIXTURE	MANUFACTURER	MODEL	NOTES	WATER SUPPLY FIXTURE UNITS PER IDPH
P1	WATER CLOSET SEAT & COVER	KOHLER	K-3811-0 K-4008-0	NOTES	3
P2	LAVATORYx2	KOHLER	K-2661-0	NOTES	
P3	WALL MTD. LAV. FAUCETx2	MOEN	TS6730BN	NOTES	1x2=2
P4	SHOWER HEAD/FAUCET	MOEN	TS3715BN	NOTES	2
P5	SEWAGE EJECTOR PUMP PIT BASIN COVER	ION TECHNOLOGIES TOPP	X-ONE+ B24001 C181S	ALL PENETRATIONS & GROMMETS IN PIT BASIN & COVER SHALL BE GAS TIGHT	
P6	SHOWER PAN	TILE-REDI	4248CDL-PVC	FRAME WALL AS REQ'D. USE REDI-FLASH (F.O.I.C.)	
P7	BATTERY BACKUP SUMP PUMP	ION TECHNOLOGIES	35 ACI+	NOTES	
P8	BAR FAUCET	DELTA	27C4934-R3	PROVIDE STUB OUT FOR FUTURE INSTALLATION.	2
P9	BAR SINK	FRANKE	ARX110-6	PROVIDE STUB OUT FOR FUTURE INSTALLATION. 6" BELOW P2 ELEV. SEE 6/A-0.4	
AP3	DISHWASHER	FISHER & PAYKEL	DD24SCX7	APPLIANCE TO BE INSTALLED AT LATER DATE.	1
					10 S.F.U. TOTAL

1. ALL DIM'S TAKEN FROM FACE OF FNDN., FACE OF STUDS OR C.L. OF PLUMBING UNLESS NOTED OTHERWISE (U.N.O.).



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PARK RIDGE, IL 60068

CONTENT:
BASEMENT WATER PLAN,
BASEMENT WASTE/VENT
PLAN,
PLUMBING FIXTURE
SCHEDULE

DRAWN BY: MJK

CHECKED BY: MJK

JOB #: 17-001

DATE: 10/03/18

SHEET #:

P-0.0